

Haynie-Sirrine
Planned Development

URVC

UNIVERSITY RIDGE

NC

NG

NG

NC

NC

NG

NE

NE

NE

NE

UNIVERSITY ST

S CHURCH ST

CLEVELAND ST

HOPE ST

RIDGELAND DR

FIELD ST

BRADSHAW ST

VARDRY ST

HARRIS ST

HOWE ST

CLAUSSEN AV

THRUSTON ST

WAKEFIELD ST

SPRINGER ST

BRIAR ST

ANSEL ST

DUNBAR ST

AUGUSTA ST

HAYNIE ST

PEARL AV

PEARL AV

BEN ST

DEAN ST

BURNS ST

MCDANIEL AV

WATTS AV

CARROLL LA

WOODFIN AV

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TINDAL AV

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AV SENOR

ADDIE CT

URBAN ST

CHAPIN ST

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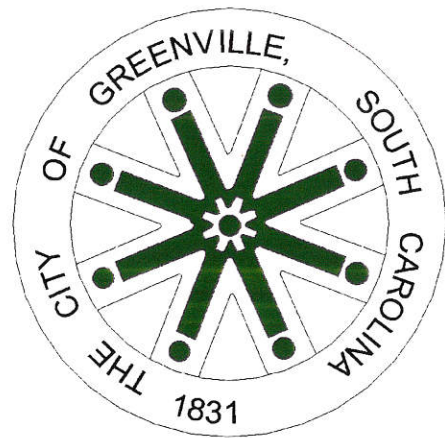
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Haynie-Sirrine Neighborhood Code

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1.0 PURPOSE:

This code was specifically designed to implement the Haynie-Sirrine Neighborhood Master Plan. To that end, the City of Greenville has found that it is necessary to enact a new Code that addresses specific urban design issues that are not present in the current development regulations.

Properties located in this Area have been assigned a new “Zone” which regulates the form and use of all existing and new development.

These regulations have been designed to permit a greater variety of uses in close proximity to one another than was previously permitted. In order to manage this flexibility a specific set of design guidelines has been established to regulate the buildings and their relationship to the public realm of the street and formal open spaces.

1.1 APPLICABILITY:

- 1. The regulations found herein shall be considered applicable to the area encompassed by the Haynie-Sirrine Neighborhood Master Plan with all appropriate zones indicated on the Plan.
- 2. Existing uses or approved plans that are non-conforming under the provisions of this Code may continue and expand subject to the design provisions found herein.
- 3. This Code shall become a new Zoning District with related sub-districts known as the Haynie-Sirrine Neighborhood (HSN) and shall replace the current zoning categories present in this area. The classification of property in this area is as follows:
 - HSN-Neighborhood Edge (NE)
 - HSN-Neighborhood General (NG)
 - HSN-Neighborhood Center (NC)
 - HSN-University Ridge Village Center (URVC)
- 4. The Zoning Administrator shall be responsible for the administration of this District and the issuance of all related zoning permits, except:
 - Where exceptions are noted in these requirements; and
 - The subdivision or re-subdivision of land which shall be processed in accordance with normal procedures outlined in the Subdivision Ordinance.

1.2 GENERAL NEIGHBORHOOD PRINCIPLES:

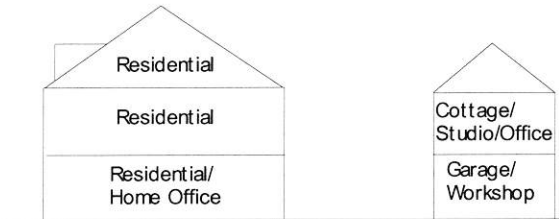
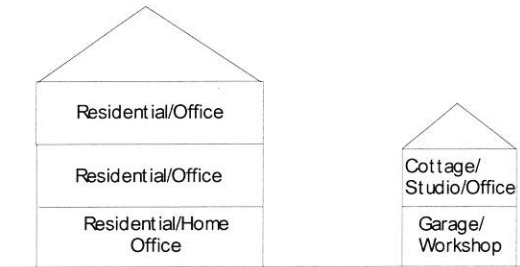
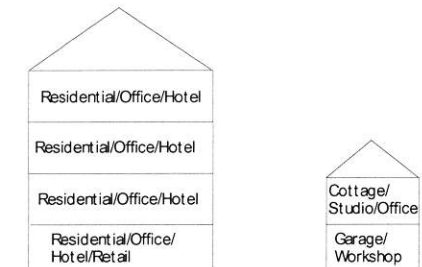
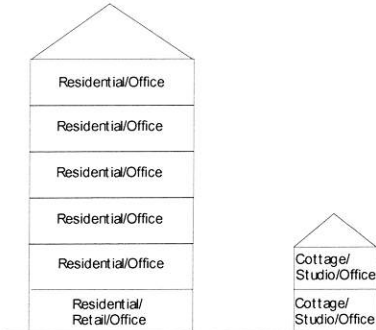
The Inner City Task Force of the Congress for the New Urbanism has developed a set of design principles that have proven effective in inner city neighborhoods. These principles have been tested in several HOPE VI projects. They are proposed as a set of working principles to be further tested and refined through use.

- **Citizen and Community Involvement:** Engage residents, neighbors, civic leaders, politicians, bureaucrats, developers, and local institutions throughout the process of designing change for neighborhoods.
- **Economic Opportunity:** The design of neighborhood development should accommodate management techniques and scales of construction that can be contracted to local and minority businesses.
- **Diversity:** Provide a broad range of housing types and price levels to bring people of diverse ages, races, and incomes into daily interaction – strengthening the personal civic bonds essential to an authentic community.
- **Neighborhoods:** Neighborhoods are compact, pedestrian-friendly, and mixed use with many activities of daily life available within walking distance. New development should help repair existing neighborhoods or create new ones and should not take the form of an isolated “project”.
- **Infill Development:** Reclaim and repair blighted and abandoned areas within existing neighborhoods by using infill development strategically to conserve economic investment and social fabric.
- **Mixed Use:** Promote the creation of mixed use neighborhoods that support the functions of daily life: employment, recreation, retail, and civic and educational institutions.
- **City-wide and Regional Connections:** Neighborhoods should be connected to regional patterns of transportation and land use, to open space, and to natural systems.
- **Streets:** The primary task of all urban architecture and landscape design is the physical definition of streets and public spaces as places of shared use. Neighborhoods should have an interconnected network of streets and public open space.
- **Public Open Space:** The interconnected network of streets and public open space should provide opportunities for recreation and appropriate settings for civic buildings.
- **Safety and Civic Engagement:** The relationship of buildings and streets should enable neighbors to create a safe and stable neighborhood by providing “eyes on the street” and should encourage interaction and community identity. Provide a clear definition of public and private realm through block and street design that responds to local traditions.
- **Dwelling as Mirror of Self:** Recognize the dwelling as the basic element of a neighborhood and as the key to self-esteem and community pride. This includes the clear definition of outdoor space for each dwelling.
- **Accessibility:** Buildings should be designed to be accessible and visitable while respecting the traditional urban fabric.
- **Local Architectural Character:** The image and character of new development should respond to the best traditions of residential and mixed use architecture in the area.
- **Design Codes:** The economic health and harmonious evolution of neighborhoods can be improved through graphic urban design codes that serve as predictable guides for change.

Haynie-Sirrine Neighborhood Code

2.0 DISTRICT STANDARDS	NEIGHBORHOOD EDGE (NE)	NEIGHBORHOOD GENERAL (NG)	NEIGHBORHOOD CORE (NC)	UNIVERSITY RIDGE VILLAGE CENTER (URVC)
2.1 TRANSECT DIAGRAM - HAYNIE-SIRRINE NEIGHBORHOOD				
2.2 DESCRIPTION	The Neighborhood Edge zone is the least dense, most purely residential zone of the neighborhood generally accommodating single and two-family uses.	The Neighborhood General zone is mixed in function, but principally residential in character. It is the largest area of the neighborhood.	The Neighborhood Center zone is the dense multifunctional social condenser of the neighborhood at a central location within walking distance of the surrounding, primarily residential, areas. The primary focus is at the intersection of Haynie Street/Pearl Avenue and Church Street with secondary locations along Church Street and at the intersection of University Ridge and Cleveland Street.	The University Ridge Village Center is the most dense business, service, and institutional center as it is shared by many neighborhoods in the southwest sector of the Downtown area. This specific Village Center serves as a primary employment center accommodating larger floorplate office buildings in close proximity to surrounding thoroughfares and the County Square Government Center.

Haynie-Sirrine Neighborhood Code

	NEIGHBORHOOD EDGE (NE)	NEIGHBORHOOD GENERAL (NG)	NEIGHBORHOOD CENTER (NC)	UNIVERSITY RIDGE VILLAGE CENTER (URVC)
2.3 MIXED USE PROVISIONS				
2.4 SPECIFIC BUILDING TYPES PERMITTED Except where topographic conditions prohibit, all buildings shall enfront on public streets or parks.	Detached House – Street Lot Detached House – Alley Lot Civic Building	Detached House – Street Lot Detached House – Alley Lot Townhouse Apartment Building Civic Building	Detached House – Alley Lot Townhouse Apartment Building Shopfront Building Civic Building	Detached House – Alley Lot Townhouse Apartment Building Shopfront Building Workplace Building Civic Building
2.5 PERMITTED OPEN SPACE TYPES	Greenway Meadow Park Sportsfield PlaygroundClose	Greenway Park Sportsfield/Stadium Green Square Plaza Community Garden Close Playground	Greenway Square Plaza Community Garden Close Playground	Greenway Square Plaza Community Garden Close Playground
2.6 MAX. HEIGHT	2 ½ Stories	3 Stories	4 Stories (exception-6 stories fronting on Church Street)	6 Stories
2.7 SIGNAGE	Arm Sign Only (Monument Signs for Civic Buildings only)	Arm Sign Only (Monument Signs for Civic Buildings only)	All Permitted Signage	

Haynie-Sirrine Neighborhood Code

2.8 USE PROVISIONS	NEIGHBORHOOD EDGE (NE)	NEIGHBORHOOD GENERAL (NG)	NEIGHBORHOOD CENTER (NC)	UNIVERSITY RIDGE VILLAGE CENTER (URVC)
Residential: Premises available for long-term human habitation by means of ownership and rental, but excluding short-term letting of less than a month’s duration	Restricted Residential: The number of dwellings is restricted to two within a principal building and one within an accessory building, and by the requirement of 1.5 assigned parking spaces for each. <i>Permitted Uses:</i> Single Family homes and Duplexes	Limited Residential: The number of dwellings is limited by the requirement of 1.5 assigned parking spaces for each dwelling, a ratio that may be reduced according to the shared parking standard (Section 7.4). <i>Permitted Uses:</i> Single Family homes, Duplexes, and Multi-Family dwellings	Open Residential: The number of dwellings is limited by the requirement of 1.5 assigned parking spaces for each dwelling, a ratio that may be reduced according to the shared parking standard (Section 7.4). <i>Permitted Uses:</i> Single Family homes, Duplexes, and Multi-Family dwellings	Open Residential: The number of dwellings is limited by the requirement of 1.5 assigned parking spaces for each dwelling, a ratio that may be reduced according to the shared parking standard (Section 7.4). <i>Permitted Uses:</i> Single Family homes, Duplexes, and Multi-Family dwellings
Lodging: Premises available for short-term human habitation, including daily and weekly letting	Restricted Lodging: The number of bedrooms available for lodging is restricted to one within an accessory building, and by the requirement of one assigned parking space for each leasable bedroom in addition to the requirements of the principal dwelling <i>Permitted Uses:</i> Rental Cottages (in outbuildings)	Limited Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may only be provided in the morning. <i>Permitted Uses:</i> Rental Cottages and Bed and Breakfast Inns	Open Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may be provided at all times. <i>Permitted Uses:</i> Hotels and Inns, Rental Cottages	Open Lodging: The number of bedrooms available for lodging is limited by the requirement of one assigned parking space for each bedroom, in addition to the parking requirement for each dwelling. Food service may be provided at all times. <i>Permitted Uses:</i> Hotels and Inns, Rental Cottages
Office: Premises available for the transaction of general business, but excluding retail sales and manufacturing	Restricted Office: Customary home occupation uses are permitted only provided the office use is restricted to the first floor or accessory building and by the requirement of 3 assigned parking spaces for each 1000 sq ft, in addition to the parking requirement for each dwelling. <i>Permitted Uses:</i> Home Occupations	Restricted Office: The area available for office use is limited by the requirement of 3 assigned parking spaces for each 1000 sq ft, a ratio that may be reduced according to the shared parking standards (Section 7.4). <i>Permitted Uses:</i> Office Uses, Live-Work Units	Open Office: The area available for office use is limited by the requirement of 3 assigned parking spaces for each 1000 sq ft, a ratio that may be reduced according to the shared parking standards (Section 7.4). <i>Permitted Uses:</i> Office Uses, Live-Work Units	Open Office: The area available for office use is limited by the requirement of 3 assigned parking spaces for each 1000 sq ft, a ratio that may be reduced according to the shared parking standards (Section 7.4). <i>Permitted Uses:</i> Office Uses, Live-Work Units
Retail: Premises available for the commercial sale of merchandise and prepared foods, but excluding manufacturing	Restricted Retail: Retail use is not permitted within residential buildings; with the exception of child care nurseries in residential structures. <i>Permitted Uses:</i> Child Care Nursery	Restricted Retail: Retail use is not permitted within residential buildings; with the exception that one neighborhood storefront (in the first story of a corner location) shall be permitted <i>Permitted Uses:</i> Neighborhood Store (on corner lots only) and Child Care Center	Open Retail: The area available for retail use is limited by the requirement of one assigned parking space for each 250 sq ft of gross retail space, a ratio that may be reduced according to the shared parking standards (Section 7.4). <i>Permitted Uses:</i> Retail Uses, Restaurants, Entertainment Uses, Day Care Centers, Convenience Stores <i>Excluded Uses:</i> Automotive, Boat, & Heavy Equipment Sales & Service, Adult Establishments and Adult Video Stores, Drive-Thru Uses, Light Auto Services	Open Retail: The area available for retail use is limited by the requirement of one assigned parking space for each 250 sq ft of gross retail space, a ratio that may be reduced according to the shared parking standards (Section 7.4). <i>Permitted Uses:</i> Retail Uses, Restaurants, Entertainment Uses, Day Care Centers, Convenience Stores & Drive-Through Facilities, Light Auto Service <i>Excluded Uses:</i> Automotive, Boat, & Heavy Equipment Sales & Service, Adult Establishments and Adult Video Stores
Manufacturing: Premises available for the creation, assemblage, and repair of items including their retail sale except when such activity creates adverse impacts	Restricted Manufacturing: Manufacturing uses are not permitted.	Restricted Manufacturing: Manufacturing uses are not permitted.	Restricted Manufacturing: Manufacturing uses are not permitted.	Limited Manufacturing: The area available for manufacturing use is limited to the building. No outdoor manufacturing activity or storage is permitted. The parking requirement shall be .25 spaces per 1000 sq ft. <i>Permitted Uses:</i> Light Manufacturing Uses (no outdoor storage permitted)
Civic: Premises available for not-for-profit organizations dedicated to religion, arts and culture, education, government, social service, transit, and other similar functions	Open Civic: Civic uses shall be permitted.	Open Civic: Civic uses shall be permitted.	Open Civic: Civic uses shall be permitted.	Open Civic: Civic uses shall be permitted.

Haynie-Sirrine Neighborhood Code

3.0 OPEN SPACE OVERLAY DISTRICT	3.1 APPLICABILITY AND IMPLEMENTATION: 1. All development shall be subject to these provisions. 2. RESERVED 3. Open Space Types may be combined (i.e. a playground in a park)	3.3 PERMITTED TYPES: Greenway: A corridor encompassing a trail for bicycles or pedestrians. The trajectory of a greenway should lead through rural as well as urban areas, connecting the countryside to urban parks. The landscaping pattern should be appropriate to the location: naturalistic within the countryside, and formal within the neighborhoods. Meadow: An area available for unstructured recreation outside of a neighborhood. A meadow is naturalistic, consisting of native plants, growing unchecked, and requiring minimal maintenance. Park: A large open area available for recreation, usually located at the neighborhood edge, and fronted by buildings. Its landscape comprises paved paths and trails, some open lawn, trees and open shelters, all naturalistically disposed and requiring limited maintenance. Sportsfield/Stadiums: An open area or facility and its related ancillary buildings specifically designed and equipped for large-scale structured recreation. Such fields should be confined to the edges of neighborhoods as their size is disruptive to the fine-grained network which is required for pedestrian travel. Green: A medium-sized public space available for unstructured recreation, circumscribed by building facades, its landscape consisting of grassy areas and trees, naturalistically disposed and requiring only limited maintenance.	Square: A public space, seldom larger than a block, at the intersection of important streets. A square is circumscribed spatially by frontages; its streetscape consists of paved walks, lawns, trees, and civic building all formally disposed and requiring substantial maintenance. Plaza: A public space at the intersection of important streets set aside for civic purposes and commercial activities, A plaza is circumscribed by frontages; its landscape consists of durable pavement for parking and trees requiring little maintenance. All parking lots on frontages should be designed as plazas with the paving not marked or detailed as parking lots. Community Gardens: A grouping of garden plots available for small-scale cultivation, generally to residents of apartments or other dwelling types without private gardens. Community gardens should accommodate individual storage sheds. Community gardens are valuable for their recreational and communal role, similar to that of a club. Close: A small green area surrounded by a drive way providing vehicular access to several buildings, performing the same function as a cul-de-sac but creating a socially useful space. The width of the close must correspond to the standard turning radius requirement. A close may be built to economical driveway standards unless it is accessed regularly by utility vehicles. Playground: A small open area specifically designed and equipped for the play of small children. A playground is usually fenced and may include an open shelter. Playgrounds should be interspersed within residential areas, a short walking distance from dwellings.
	3.2 GENERAL PROVISIONS: 1. Open space is defined as all areas not covered by building or parking lots, dry detention structures, streets, and required setbacks. The intent of these requirements is to allow for the usage of centrally located unencumbered land as neighborhood open spaces and not to permit the use of leftover or otherwise unusable land to fulfill the requirements of this Section. 2. Open space shall be planned and improved, accessible and usable by persons living nearby. Improved shall mean cleared of underbrush and debris and shall contain one or more of the following improvements: landscaping, walls, fences, walks, statues, fountains, ball fields, and/or playground equipment. 3. Significant stands of trees, streambed areas, and other valuable topographic features shall be preserved within the required open space areas where practical. Areas noted on the Master Plan as open space should be preserved and dedicated where practical and feasible and may be left unimproved in accordance with the Plan. 4. Playground equipment, statues, and fountains should be located toward the interior of squares and parks. 5. Open space should be fronted by streets and buildings to encourage their use and patrol their safety. 6. Required open space shall be separately deeded to either a homeowner’s association, a non-profit land trust or conservancy, Greenville County, the City of Greenville, or otherwise permanently protected through deed restriction.		



**Staff Report for PD - Minor Change
Application Number Z-29-2007**

10/3/2007

Applicant: The City of Greenville

Planned Development Affected by Amendment: Haynie-Sirriner

Description of Amendment: The proposed amendment will reduce the minimum lot width for "Detached House – Type A (street lot) from 50 feet to 40 feet.

Reason for the Amendment: To provide a minimum lot width consistent with similar provisions in other zoning districts.

Applicable Sections of the City of Greenville Code of Ordinances:

Sec. 2-372, Function, Powers, and Duties of the Planning Commission

Section 19-385, Changes to Planned Development

Staff Analysis and Recommendation:

The Haynie-Sirriner Masterplan design standards establish the minimum lot width for detached houses on a street lot at 50 feet. The minimum lot width for an alley lot is 24 feet. The reason for the difference in width appears to be the need to accommodate a driveway on the street lot, instead of rear access on an alley lot.

The minimum lot width in an R-6, Single-family Residential District, is 40 feet. Lots with this width have been developed to include a driveway from the front street.

The Planning Staff believes the Haynie-Sirriner Masterplan should not be more restrictive than a standard zoning district provision on this issue. Therefore, the Planning Staff recommends approval of the minor change to reduce the minimum lot width for street lots in the Haynie-Sirriner Masterplan from 50 feet to 40 feet.

Delete Section 19-52(16) and replace with new Sections (16) and (17):

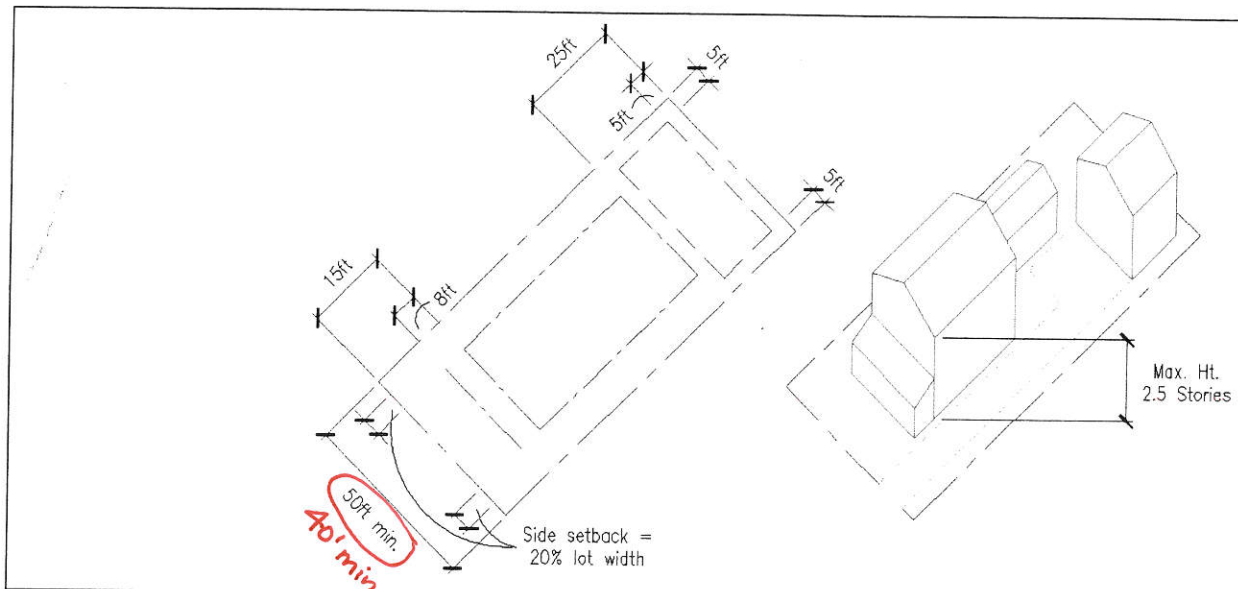
Planning Staff Recommendation: **Approval**

Planning Commission Recommendation: **Approval**

4.1 DETACHED HOUSE – TYPE A (STREET LOT)

Description: The detached house is the predominant building type in the City of Greenville. It is flexible in use (where permitted), accommodating single family multi-family uses up to four units, home occupations, professional offices, and limited retail uses. When other building types are integrated with Detached House scale of the Detached House shall control (exception: Civic Buildings).

1. LOT REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the build-to line and/or setbacks shall be as follows:

Front Build-To Line: 15 ft

Sides: The total of both side setbacks shall equal 20% of the lot width at the frontage line, but shall not be less than 6 feet, except in new developments, where the entire setback may be allocated to one side)

Rear: 15 ft

Minimum Lot Width: 50 Ft **40 Ft.**

Maximum Height: 2 ½ Stories (as measured from the fronting st

Encroachments: Balconies, stoops, stairs, chimneys, open porche bay windows, and raised doorways are permitted to encroach into t front setback a maximum of 12 ft.

Building Lot Coverage (Maximum): 50%

Accessory Structures:

Side/Rear Setback: 3 ft

Maximum Footprint: 650 sq ft

Maximum Number of Structures: 1

Maximum Height: 2 Stories



Single Family



Duplex



Haynie-Sirrine Neighborhood Code

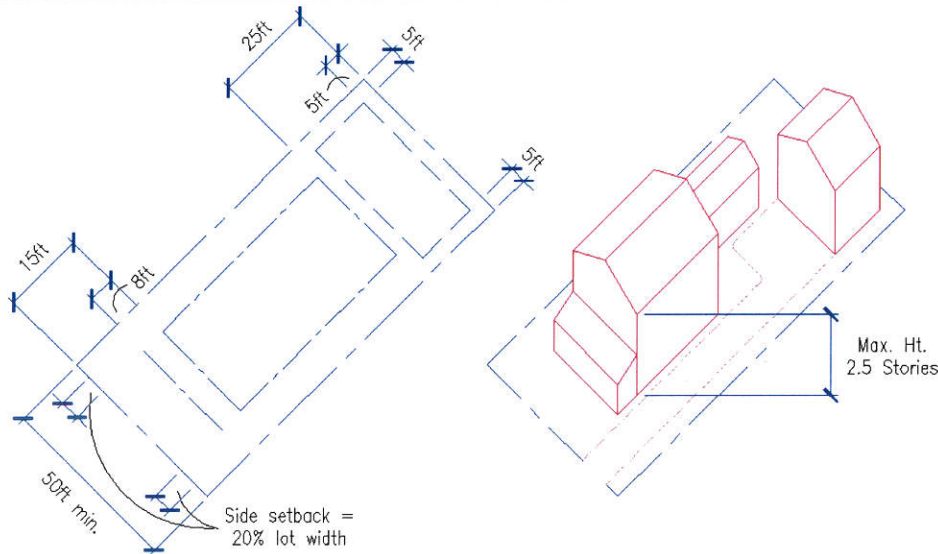
4.1 DETACHED HOUSE – TYPE A (STREET LOT)

Description: The detached house is the predominant building type in the City of Greenville. It is flexible in use (where permitted), accommodating single family uses, multi-family uses up to four units, home occupations, professional offices, and limited retail uses. When other building types are integrated with Detached Houses, the scale of the Detached House shall control (exception: Civic Buildings).

Applicability: The street lot is a medium or large sized lot that provides primary vehicular access from the street. The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS

2. ARCHITECTURAL REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the build-to line and/or setbacks shall be as follows:

Front Build-To Line: 15 ft
Sides: The total of both side setbacks shall equal 20% of the lot width at the frontage line, but shall not be less than 6 feet, except in new developments, where the entire setback may be allocated to one side)
Rear: 15 ft

Minimum Lot Width: 50 Ft
Maximum Height: 2 ½ Stories (as measured from the fronting street)

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 12 ft.

Building Lot Coverage (Maximum): 50%

Accessory Structures:
Side/Rear Setback: 3 ft
Maximum Footprint: 650 sq ft
Maximum Number of Structures: 1
Maximum Height: 2 Stories

A. General Requirements

1. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the home. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
2. Garages with front loading bays shall be recessed from the front facade of the house and visually designed to form a secondary building volume. All garages with more than two bays shall be turned such that the bays are not visible from the street. At no time shall the width of an attached garage exceed 40% of the total building facade.
3. Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
4. Garage doors are not permitted on the front elevation of any detached house on a lot less than 50 feet wide.
5. All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet. (Exceptions may be granted by the Planning Commission to accommodate accessibility for the elderly/disabled on a site by site basis.)

B. Materials

1. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.

2. Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material unless landscaped from view by adjacent properties using trees, hedges, ivy or similar plant material.
3. Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

1. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
3. Exterior chimneys visible from public streets shall be finished in brick or stucco.
4. The crawlspace of buildings shall be enclosed.

D. Techniques

1. Overhanging eaves may expose rafters.
2. Flush eaves shall be finished by profiled molding or gutters.
3. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Single Family



Duplex



Limited Retail



Restaurant



Quadruplex

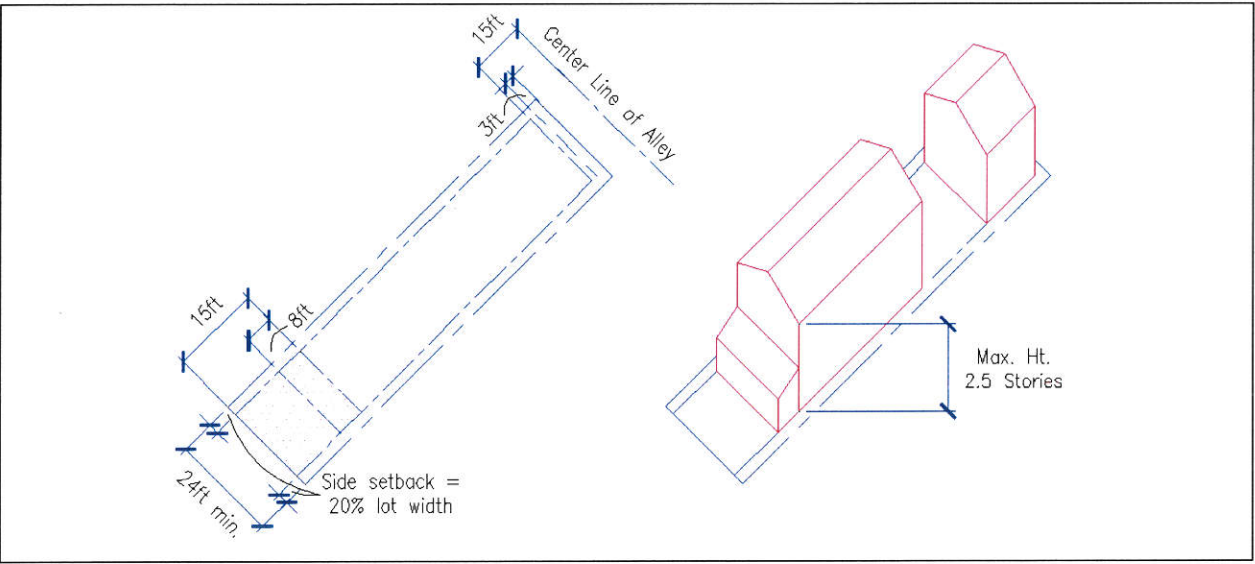
Haynie-Sirriner Neighborhood Code

4.2 DETACHED HOUSE – TYPE B (ALLEY LOT)

Description: The detached house is the predominant building type in the City of Greenville. It is flexible in use (where permitted), accommodating single family uses, multi-family uses up to four units, home occupations, professional offices, and limited retail uses. When other building types are integrated with Detached Houses, the scale of the Detached House shall control (exception: Civic Buildings).

Applicability: The alley lot is a lot with an average width not exceeding 50 feet. Primary vehicular access is provided using a rear lane or alley only. No curb cuts or driveways are permitted along the frontage except on previously platted lots or where the condition currently exists. The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the build-to line and/or setbacks shall be as follows:

- Front Build-To-Line:** 15 ft
- Side:** 6 ft each side, however the total of both side yards may be allocated to one side in new development.
- Rear:** 15 ft from centerline of alley

Minimum Lot Width: 24 Ft
Maximum Height: 2 ½ Stories (as measured from the fronting street)
Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 12 ft.

Building Lot Coverage (Maximum): 50%
Accessory Structures:
Side/Rear Setback: 3 ft
Maximum Footprint: 650 sq ft
Maximum Number of Structures: 1
Maximum Height: 2 Stories

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

- Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the home. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
- Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
- All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet. (Exceptions may be granted by the Planning Commission to accommodate accessibility for the elderly/disabled on a site by site basis.)

B. Materials

- Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.

- Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material unless landscaped from view by adjacent properties using trees, hedges, ivy or similar plant material.
- Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

- Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
- Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- Exterior chimneys visible from public streets shall be finished in brick or stucco.
- The crawlspace of buildings shall be enclosed.

D. Techniques

- Overhanging eaves may expose rafters.
- Flush eaves shall be finished by profiled molding or gutters.
- All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Single-Family Homes



Triplex



Single-Family Homes



Quadruplex



Single Family Home

Haynie-Sirrine Neighborhood Code

4.3 TOWNHOUSE

Description: The townhouse is a building with two or more residential units that are located side-by-side. When an entrance is provided at-grade, the townhouse may be used as a live-work unit.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

- 1. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
- 2. Garage doors are not permitted on the front elevation of any townhouse.
- 3. Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
- 4. All building elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
- 5. All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet.
- 6. All townhouses shall provide detailed design along all elevations. Detailed design shall be provided by using at least three (3) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):
 - a. Dormers
 - b. Gables
 - c. Recessed or covered porch entries
 - d. Cupolas or towers
 - e. Pillars or posts
 - f. Eaves (minimum 6 inch projection)
 - g. Off-sets in building face or roof (minimum 16 inches) Window trim (minimum 4 inches wide)
 - h. Bay windows
 - i. Balconies
 - j. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
 - k. Decorative cornices and roof lines (for flat roofs)

B. Materials

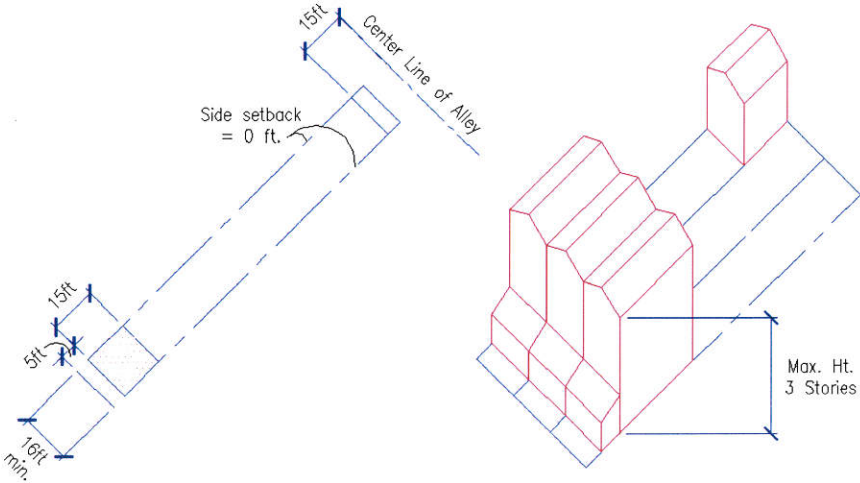
- 1. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, approved vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.
- 2. Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material.
- 3. Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

- 1. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
- 2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- 3. Exterior chimneys visible from public streets shall be finished in brick or stucco.
- 4. The crawlspace of buildings shall be enclosed.

D. Techniques

- 1. Overhanging eaves may expose rafters.
- 2. Flush eaves shall be finished by profiled molding or gutters.
- 3. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Setbacks:
Front (Maximum): 0-15 ft
Sides: 0 ft (Corner-6 ft)
Rear: 15 ft from centerline of alley

Parking and Vehicular Access: Primary vehicular access is provided using a rear lane or alley only. Off-street parking shall be located in the rear yard only. No curb cuts or driveways are permitted along the frontage.

Building Lot Coverage (Maximum): 50%

Minimum Lot Width: 16 Ft
Maximum Height: 3 Stories

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback.

Accessory Structures:
Side/Rear Setback: 0 ft
Maximum Footprint: 650 sq ft
Maximum Number of Structures: 1
Maximum Height: 2 Stories



18 ft wide Townhomes



24 ft wide Townhomes



Live-Work Units



Varied Width Townhomes



18-20 ft wide Townhomes

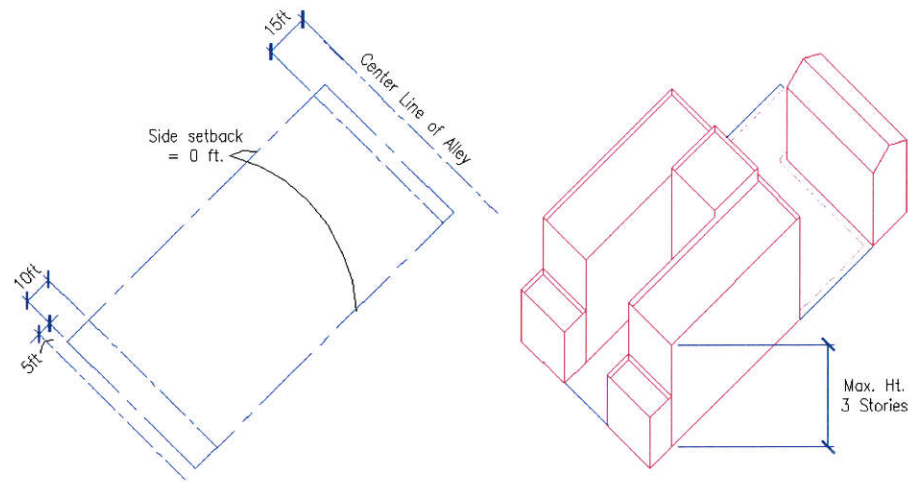
Haynie-Sirrine Neighborhood Code

4.4 APARTMENT BUILDING

Description: A multiple-unit building with apartments vertically arranged and with parking located below or behind the building. Units may be for rental or for sale in condominium ownership or may be designed as assisted living/continuing care facilities. The ground floor may be available for commercial uses.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks:
Front (Maximum): 15 ft
Sides: 0 ft (Corner-4 ft)
Rear: 15 ft from centerline of alley

Parking and Vehicular Access: Primary vehicular access is provided using a rear lane or alley only. Off-street parking shall be located in the rear yard only. No curb cuts or driveways are permitted along the frontage.

Building Lot Coverage (Maximum): 50%

Maximum Height: Per Zone Requirements

Accessory Structures:
Side/Rear Setback: 0 ft
Maximum Footprint: 650 sq ft

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback.

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

- Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
- Garage doors are not permitted on the front elevation of any apartment building.
- Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
- All building elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
- All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet.
- All multi-family and infill buildings shall provide detailed design along all elevations. Detailed design shall be provided by using at least three (3) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):
 - Dormers
 - Gables
 - Recessed or covered porch entries
 - Cupolas or towers
 - Pillars or posts
 - Eaves (minimum 6 inch projection)
 - Off-sets in building face or roof (minimum 16 inches)
 - Window trim (minimum 4 inches wide)
 - Bay windows
 - Balconies
 - Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
 - Decorative cornices and roof lines (for flat roofs)

B. Materials

- Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, approved vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.
- Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material.
- Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

- Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
- Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- Exterior chimneys shall be finished in brick or other material approved by the Planning Department.
- The crawlspace of buildings shall be enclosed.

D. Techniques

- Overhanging eaves may expose rafters.
- Flush eaves shall be finished by profiled molding or gutters.
- All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Multi-Family Building



Eightplex



Multi-Family Building



Multi-Family Building



Assisted Living Residence

Haynie-Sirrine Neighborhood Code

4.5 SHOPFRONT BUILDING

Description : A small scale structure which can accommodate a variety of uses. A group of shopfront buildings can be combined to form a mixed-use neighborhood center. Individual shopfront buildings can be used to provide some commercial service, such a neighborhood store, in close proximity to homes. Office buildings, hotels and inns can be placed in shopfront buildings.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

- 1. At least 70% of the width of street level frontages shall be in windows or doorways. Street level windows shall be visually permeable. Mirrorized glass is not permitted in any location. Faux or display casements are not permitted in lieu of exterior window treatments for the frontage elevation.
- 2. No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
- 3. The principal, functional doorway for public or direct-entry access into a building shall be form the fronting street. Corner entrances shall be provided on corner lot buildings.
- 4. Decorative cornices shall be provided for buildings with a flat roof. Alternatively, eaves shall be provided with a pitched roof.
- 5. A building canopy, awning, or similar weather protection may be provided and should project 3-5 feet from the façade. Encroachments into the right-of-way shall be permitted by the City.

B. Materials

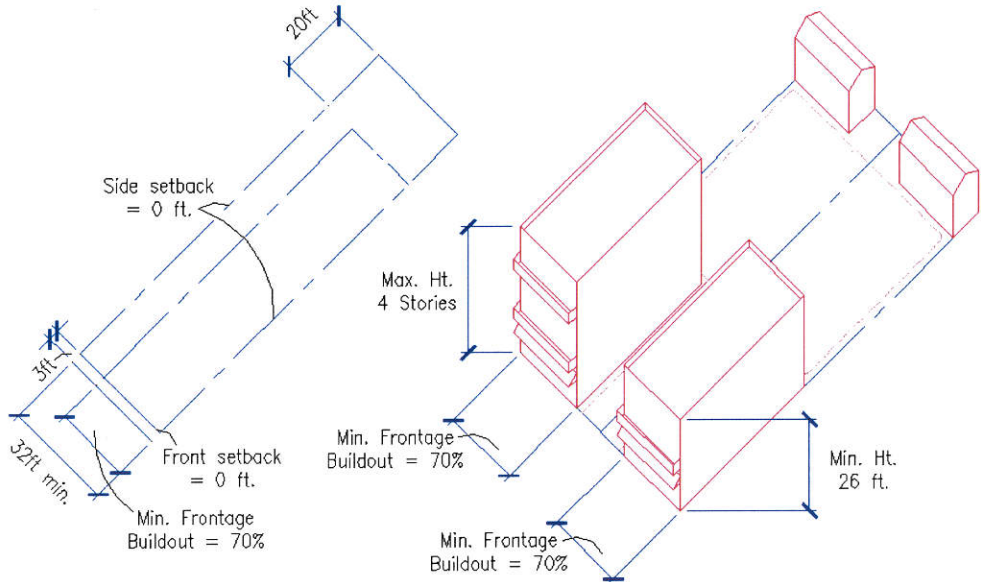
- 1. Commercial building walls shall be brick, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- 2. Pitched roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.
- 3. Signs on the inside of glazed openings may be neon.

C. Configurations

- 1. All visibly exposed facades shall have a recognizable base course, which shall align with the sill level of the first story consisting of, but not limited to: thicker walls, ledges or sills; integrally textured materials such as stone or other masonry; integrally colored and patterned materials such as smooth finished stone or tile; lighter or darker colored materials, mullions, or panels; and/or planters.
- 2. All visibly exposed facades shall have a recognizable top consisting of, but not limited to: cornice treatments, other than just colored stripes or bands, with integrally textured materials such as stone or other masonry or differently colored materials; sloping roof with overhangs and brackets; stepped parapets; and/or a cornice which shall terminate or cap the top of a building wall.
- 3. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- 4. Sky-lights shall be flat (non-bubble).

D. Techniques

- 1. Windows shall be set to the inside of the building face wall.
- 2. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Minimum Height: 26 ft
Maximum Height: Per Zone Requirements

Setbacks:
Front (Maximum): 0 ft
Sides: 0 ft
Rear: 20 ft

Frontage Buildout (Min.): 70%

Parking and Vehicular Access: Primary vehicular access is provided using a rear lane or alley only. Off-street parking shall be located in the rear yard only. No curb cuts or driveways are permitted along the frontage.

Accessory Structures:
Side/Rear Setback: 0 ft



Mixed Use



Mixed Use



Mixed Use



Mixed Use



Mixed Use



Grocery Store

Haynie-Sirrine Neighborhood Code

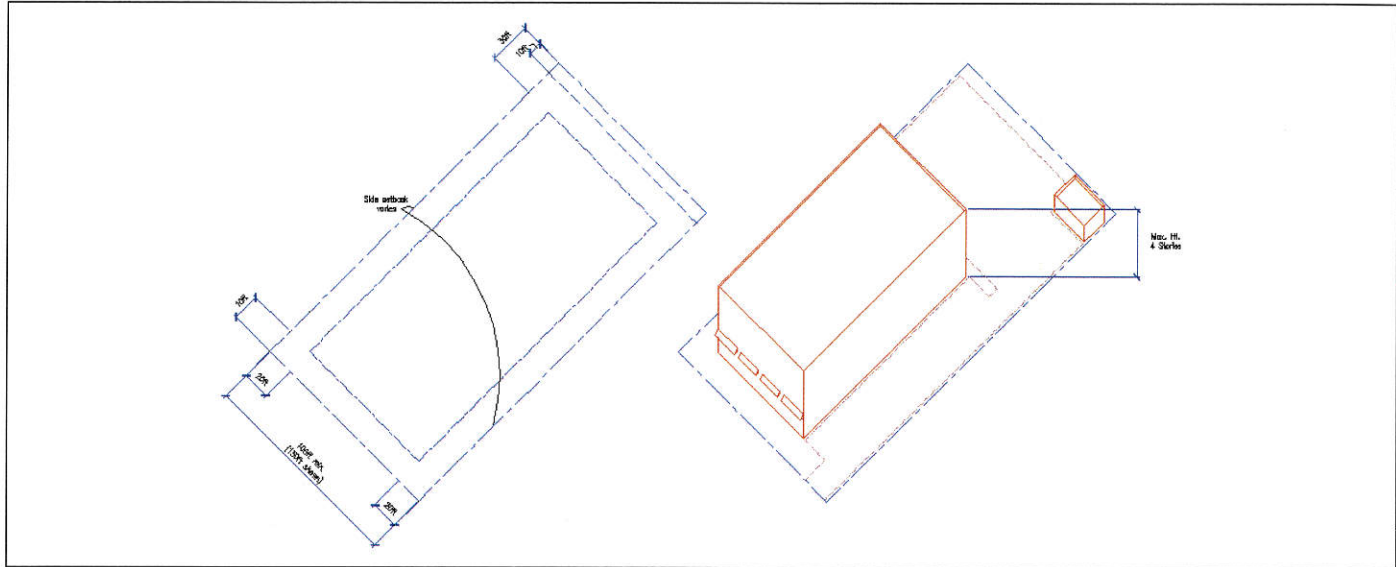
4.6 WORKPLACE BUILDING

Description: A fixed commercial building type with commercial use throughout. Office buildings are among the largest urban types as they must accommodate large floorplates.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS

2. ARCHITECTURAL REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the minimum setbacks shall be as follows:

Front: 0-25 ft
Side: varies
Rear: 30
Accessory Structure Setback: 10 ft
Parking Setback: 10 ft

Minimum Lot Width: 100 Ft
Maximum Height: 6 Stories

A. General Requirements

- At least 50% of the width of street level frontages shall be in windows or doorways. Street level windows shall be visually permeable. Mirrorized glass is not permitted in any location. Faux or display casements are not permitted in lieu of exterior window treatments for the frontage elevation.
- No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
- The principal, functional doorway for public or direct-entry access into a building shall be from the fronting street. Corner entrances shall be provided on corner lot buildings.
- Decorative cornices shall be provided for buildings with a flat roof. Alternatively, eaves shall be provided with a pitched roof.
- A building canopy, awning, or similar weather protection may be provided and should project 3-5 feet from the façade. Encroachments into the right-of-way shall be permitted by the City.

B. Materials

- Commercial building walls shall be brick, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- Pitched roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.
- Signs on the inside of glazed openings may be neon.

C. Configurations

- All visibly exposed facades shall have a recognizable base course, which shall align with the sill level of the first story consisting of, but not limited to: thicker walls, ledges or sills; integrally textured materials such as stone or other masonry; integrally colored and patterned materials such as smooth finished stone or tile; lighter or darker colored materials, mullions, or panels; and/or planters.
- All visibly exposed facades shall have a recognizable top consisting of, but not limited to: cornice treatments, other than just colored stripes or bands, with integrally textured materials such as stone or other masonry or differently colored materials; sloping roof with overhangs and brackets; stepped parapets; and/or a cornice which shall terminate or cap the top of a building wall.
- Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- Sky-lights shall be flat (non-bubble).

D. Techniques

- Stucco shall be float finish.
- Windows shall be set to the inside of the building face wall.
- All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



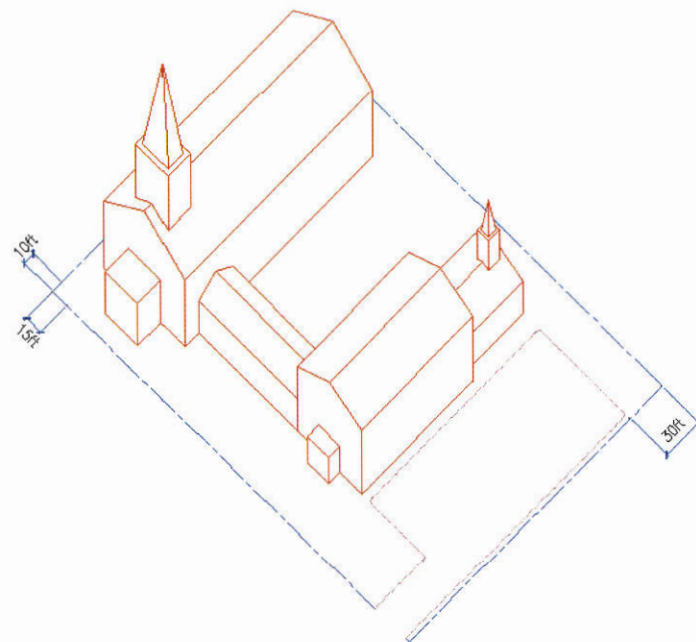
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4.7 CIVIC BUILDING

Description: Specialized buildings intended to serve as public gathering places. Such uses include governmental offices, churches or other places of worship, schools, hospitals, post offices, and non-profit or charitable clubs and organizations.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks:
Front: 10 ft
Sides: 15
Rear: 30 ft
Accessory Structure Side/Rear Setback: 5 ft

Minimum Lot Width: 70 Ft
Maximum Height: 3 Stories (Taller buildings may be permitted in the URVC subject to the issuance of a Final Development Plan by the Planning Commission)
Encroachments: Balconies, stoops, stairs, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 10 ft.

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

1. Schools, churches, and government buildings should be built so that they terminate a street vista whenever possible, and shall be of sufficient design to create visual anchors for the community.
2. Off-street parking shall be provided in the side or rear yards only.

B. Materials

1. Civic building walls shall be clad in clapboard, stone, stucco, brick, or marble. Decorative cast concrete and wood or vinyl siding may be used as a minority element on facades facing public streets.
2. Civic roofs shall be clad in slate, sheet metal, corrugated metal, or diamond tab asphalt shingles, or other material similar in appearance and durability.
3. Gutters and down spouts shall be made of copper or galvanized painted metal.
4. The orders, if provided, shall be made of wood, marble, or cast concrete.
5. Stained glass or other decorative window treatments are encouraged.

C. Configurations

1. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
2. Flat roofs are allowed, but principal civic buildings adjacent to residential structures are encouraged to have pitched roofs or similar architectural features to ensure compatibility.

D. Techniques

1. Windows shall be set to the inside of the building face wall.
2. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Peace Center



Church



Post Office



Church

5.0 GENERAL BUILDING DESIGN PRINCIPLES

5.1. GENERAL BUILDING DESIGN PRINCIPLES

1. All buildings shall share a frontage line with a street or square.
2. All buildings, except accessory structures, shall have their main entrance opening onto a street or public open space.
3. New buildings should strive for a contextual approach to design and should respect the architectural vernacular of the City of Greenville.
4. Adjacent buildings should be similar in scale, height, and configuration. Similar building types should face each other. Transitions to dissimilar building types (i.e. Detached House to Office Buildings) should generally occur at the rear lane/alley or rear property line.

5.2. ARCHITECTURAL STYLE

1. Design regulations are not intended to promote the replication of the existing built form of Greenville, but to allow imaginative design that is respectful of its neighborhood. The regulations are meant to help achieve good design, not a certain stylistic result. They will also establish a consistent framework for submitting and assessing proposed development.
2. Spatial elements like massing, proportions, scale, setbacks and build-to lines, spaces between buildings, and their relative positions should be used to integrate new development into existing neighborhoods.
3. Buildings that are stylized in an attempt to use the building itself as advertising shall be discouraged, particularly where the proposed architecture is the result of a “corporate” or franchise style. New construction should provide variety and diversity and express its own uniqueness of structure, location or tenant.
4. Height can lend a building dignity and grace. Conversely, it can contribute to unacceptable bulk and dominance. It is the height in combination with other features, including setbacks and the location and amount of parking that results in a positive or negative outcome. The height and scale of each building shall take into consideration its site and existing (or anticipated) neighboring buildings which includes those on properties behind a proposed building and beyond the immediately adjacent neighbors.
5. Windows, doors, columns, eaves, parapets, and other building components shall be proportional to the overall scale of the building.
6. Changes of plane should have clearly delineated material transitions.

5.3. STREET RHYTHM

1. Facades along primary streets shall be individually interesting, yet fit well into the streetscape.
2. Important street vistas should terminate in a focal point, such as a building or other architectural or natural feature.

5.4. ROOF FORM AND PITCH

1. Rooflines shall accommodate simple lines such as hip, flat, shed, gable to front, or gable to side, and avoid excessive articulation.
2. Mansard roofs shall have functional dormers which project out from the roof. Dormers shall have a symmetrical gable or hip roof.

5.5. FAÇADE ARTICULATION AND DETAILING

1. Architectural elements like openings, sill details, bulkheads, posts, and other architectural features shall be used to establish human scale at the street level.
2. Buildings shall avoid long, monotonous, uninterrupted walls or roof planes on their visible facades. Building wall offsets, including projections, recesses, and changes in floor level shall be used in order to: add architectural interest and variety; relieve the visual effect of a single, long wall; and subdivide the wall into human size proportions. Similarly, roofline offsets shall be provided to lend architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof. For larger scale developments, the building façade shall create repetitive bays, or the façades shall be divided into a balanced, yet asymmetrical, composition.
3. All sides of the building shall use materials consistent with those on the front if visible from public streets or neighboring properties, and should be carefully designed with similar detailing, and be comparable in quality and materials.
4. All visibly exposed facades should have a base, a middle, and a top with:
 - a) a recognizable base course consisting of, but not limited to:
 - thicker walls, ledges or sills;
 - integrally textured materials such as stone or other masonry;
 - integrally colored and patterned materials such as smooth finished stone or tile;
 - lighter or darker colored materials, mullions, or panels; and
 - planters.
 - b) a recognizable top consisting of, but not limited to:
 - cornice treatments, other than just colored stripes or bands, with integrally textured materials such as stone or other masonry or differently colored materials;
 - sloping roof with overhangs and brackets;
 - stepped parapets; and
 - a cornice capping the top of a building wall.
5. Taller building shall be constructed by repeating the middle elements.

5.6. WINDOW AND DOOR PROPORTIONS AND DESIGN

1. Fenestration shall be architecturally related to the style, materials, colors, and details of the building.
2. Windows shall be vertically proportioned. Exceptions include storefront windows on the ground level (which are generally square or rectangular) and certain window configurations that are stylistically accurate with recognized architectural styles (international or modern). Also, to the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level, including storefront or display windows.

5.7. BUILDING MATERIALS

1. The color of roof stacks, flashing, vents, power exhaust fans, and metal chimney caps shall blend with the roof colors.
2. Building materials shall be similar to the materials already being used in the neighborhood, or if dissimilar materials are being proposed, other characteristics such as scale and proportion, form, architectural detailing or color and texture, shall be used to ensure that enough similarity exists for the building to relate to the rest of the neighborhood.
3. Materials shall be selected for suitability to the type of building and design for which they are used.
4. Material or color changes at outside corners of structures, which give the impression of “thinness” and artificiality, are prohibited. Piecemeal embellishment and frequent changes in material should be avoided.
5. Metal buildings shall be prohibited.

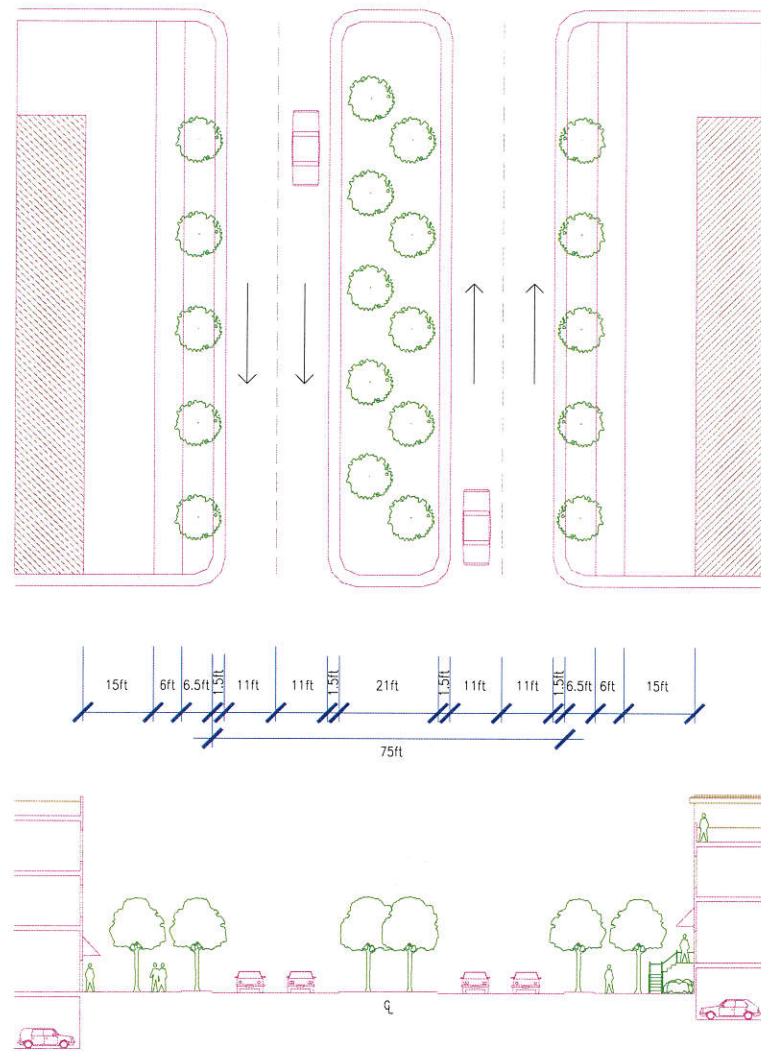
5.8. MECHANICAL SCREENING

1. Project elements like mechanical equipment, utility meters, storage areas, trash enclosures, transformers, generators and similar features or other utility hardware on roof, ground, or buildings shall be screened from public view with materials similar to the structure or they shall be so located as not to be visible from any public view or from potential buildings nearby.
2. Rooftop mechanical equipment shall not be visible from the street.
3. Unused equipment should be removed.

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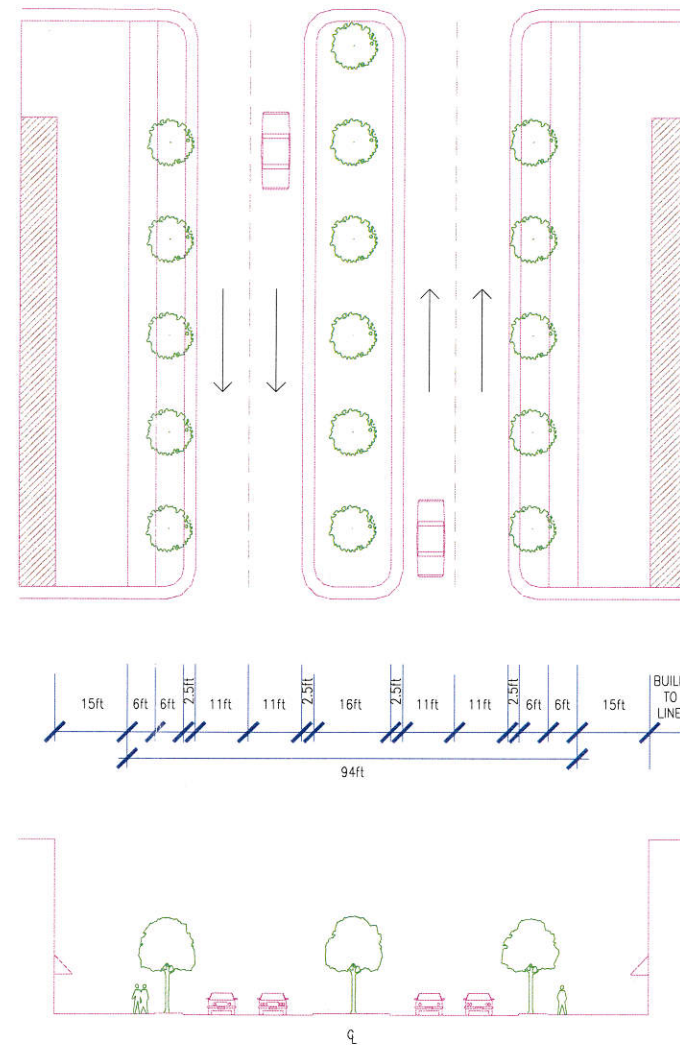
6.0 STREET TYPES AND STANDARDS

Church Street Boulevard

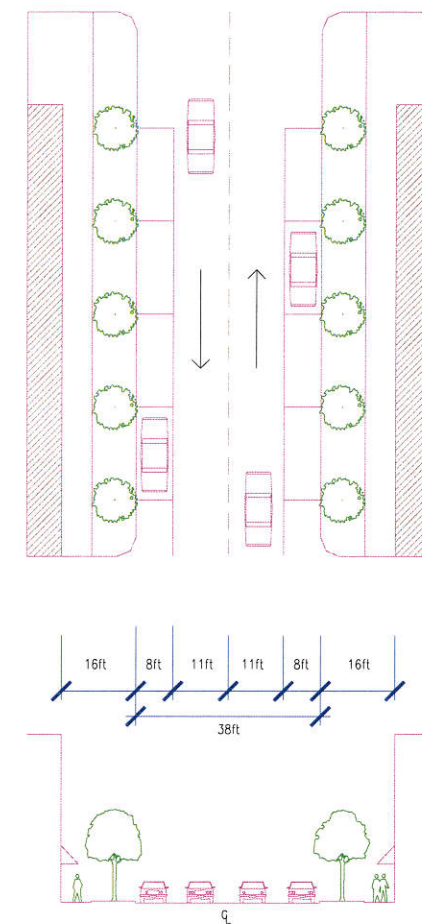


The boulevard serves as a long-distance, medium-speed vehicular corridor that traverses an urbanized area. It is usually lined by wide sidewalks or side medians planted with trees. Center medians may be continuously planted or have trees in individual planting areas. Buildings uniformly line the edges.

University Ridge Boulevard



Haynie-Pearl in NC



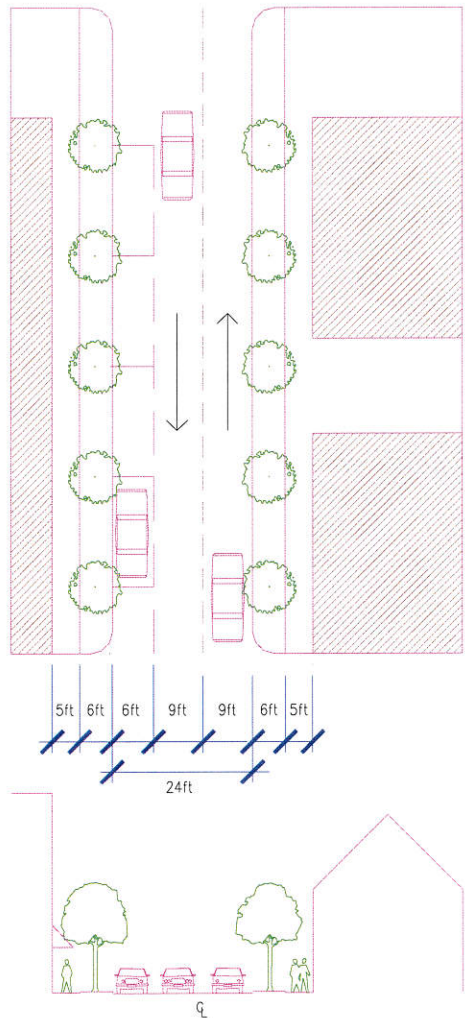
The Main Street serves as a small-scale, low-speed connector. Main Streets provide frontage for high-density buildings such as offices, shops, apartment buildings, urban mansions, and rowhouses. A Main Street is urban in character, with raised curbs, closed drainage, wide sidewalks, parallel parking, trees in individual planting areas, and buildings aligned on short setbacks.

Design Speed: 25 mph
On-Street Parking: Marked

Haynie-Sirrine Neighborhood Code

6.0 STREET
TYPES AND
STANDARDS

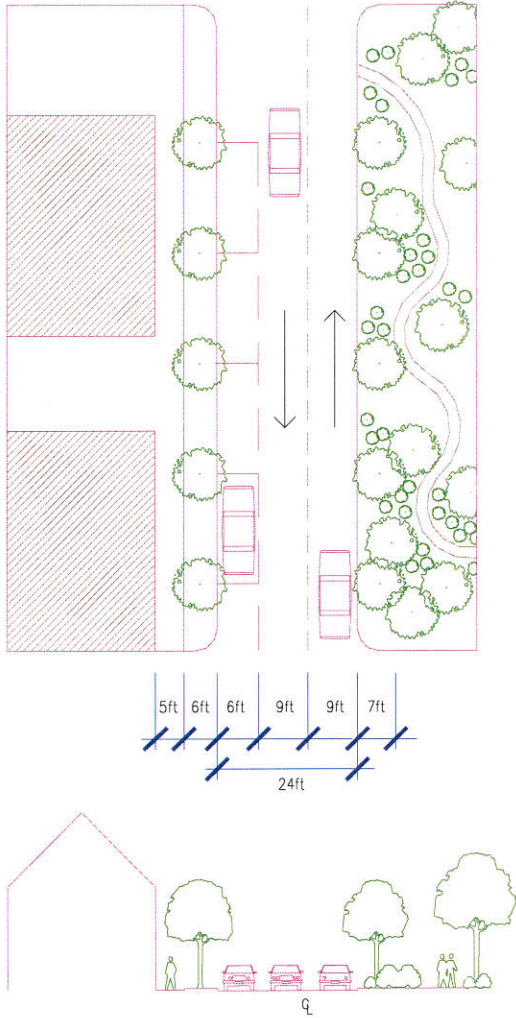
Street



The Street serves as a small-scale, low-speed connector. Local streets provide frontage for medium-to-low-density residential buildings such as detached homes and duplexes. A Street is urban in character, with raised or rolled curbs, closed drainage, sidewalks, occasional parallel parking on one side, trees in continuous planting areas, and buildings aligned on medium setbacks.

Design Speed: 15-25 mph
On-Street Parking: Occassional

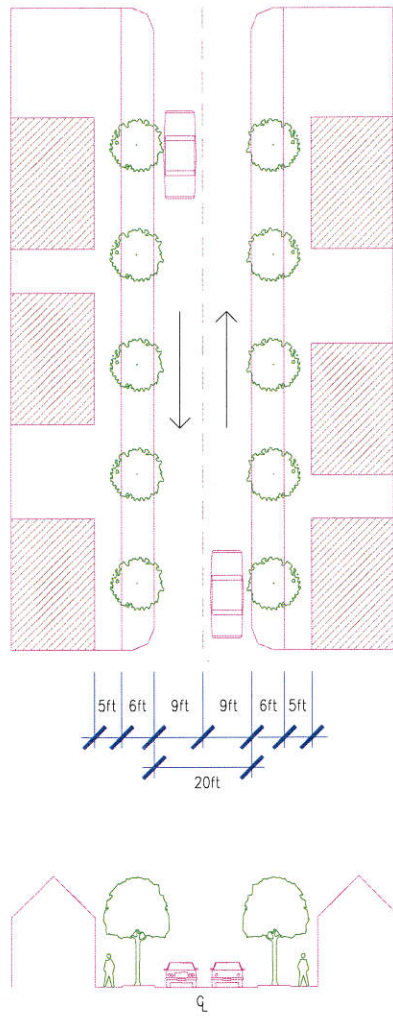
Parkside Drive



The Parkside Drive defines the natural edge between an urban and a natural condition, usually along a waterfront, a park, or a greenbelt. One side of the drive has the urban character of a main street with sidewalk, parallel parking, and buildings, while the other has the natural qualities of a rural road with naturalistic plantings and rural detailing.

Design Speed: 15-25 mph
On-Street Parking: Occassional

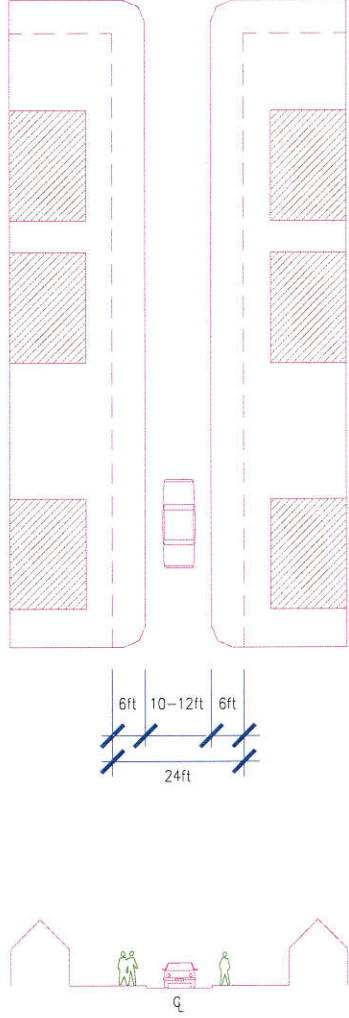
Lane



The Lane is a small-scale, low-speed connector. It serves low-density residential buildings that accommodate all parking on-site. A Lane tends to be more rural in character with rolled curbs, open or closed drainage, narrow sidewalks, continuous plantings, and buildings set way back. On-street parking is not permitted.

Design Speed: 20 mph

Rear Lane



The Rear Lane is a narrow access route behind neighborhood streets. Lanes generally have a narrow strip of paving in the center and serve as areas for underground utilities.

Haynie-Sirrine Neighborhood Code

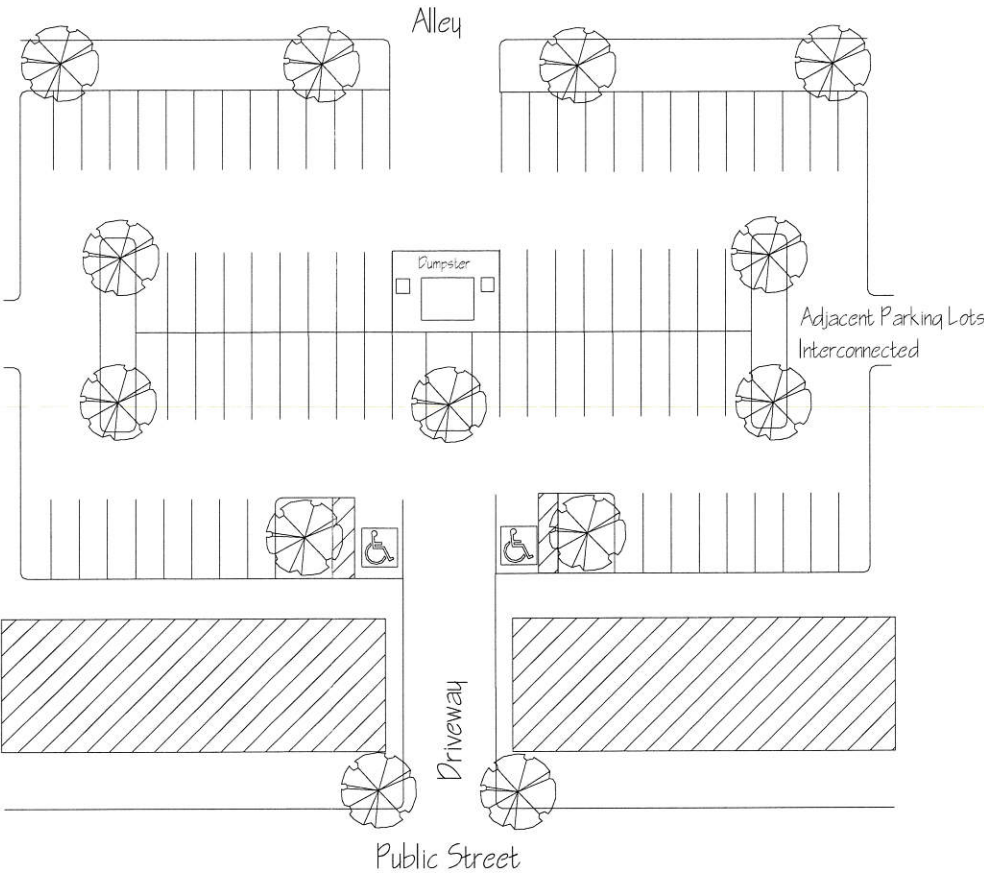
6.0 STREET TYPES AND STANDARDS	6.1 GENERAL PRINCIPLES:	6.2 DESIGN STANDARDS:	5. Utility Location
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Haynie-Sirrine Neighborhood Code

7.0 PARKING STANDARDS

7.1 GENERAL PRINCIPLES:

- 1. Parking lots should not dominate the frontage of pedestrian-oriented streets, interrupt pedestrian routes, or negatively impact surrounding neighborhoods. Lots should be located behind buildings or in the interior of a block whenever possible.
- 2. Parking areas shall not abut pedestrian-oriented street intersections or civic buildings, be adjacent to squares or parks, or occupy lots which terminate a vista.
- 3. No off-street parking area shall be located within any front yard except for single-family residential uses. All off-street parking spaces for multi-family buildings shall be in the rear yard only.
- 4. Parking lots shall not occupy more than 1/3 of the frontage of the adjacent building or no more than 75 feet, whichever is less.
- 5. All parking areas visible from the right-of-way shall be screened from view. Parking structures shall be wrapped by buildings along the primary façade.
- 6. Off-street parking areas shall be designed to facilitate adequate movement and access by sanitation, emergency, and other public service vehicles without posing a danger to pedestrians or impeding the function of the parking area.
- 7. Off-street parking areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks or strike against or damage any wall, vegetation, utility, or other structure.
- 8. Large surface parking lots should be visually and functionally segmented into several smaller lots. Alternative parking area designs incorporating planting islands and trees shall create separate and distinct outdoor rooms for no more than 36 cars per room. The size of any single surface parking lot shall be limited to three acres, unless divided by a street or building.
- 9. All parking areas shall be curbed using a standard curb with a minimum width of 1'6". Landscape islands shall be similarly curbed.



7.2 PARKING SPACE DIMENSIONS

- 1. Parking space dimensions (other than those designed for the disabled) shall be a minimum of 18 feet long and 9 feet wide. Parking spaces shall be dimensioned in relation to curbs or aisles, so long as their configuration, area, and dimensions satisfy the requirements of this Section.
- 2. Parallel parking space dimensions shall be a minimum of 20 feet by 8 feet. Parallel parking spaces along higher traffic streets should be at least 22 feet long.
- 3. Aisle widths and angle space dimensions shall be in accordance with the Manual of Architectural Graphic Standards, 10th edition.

7.3 MINIMUM PARKING RATIOS

All square footage is in leasable square feet. Parking requirements may be satisfied using on-street parking in front of buildings or public lots with 300 ft of primary building entrances.

Single Family Home	See Section 2.8
Multi-family Home	1 per bedroom (up to 2 required)
Office Uses	3 per 1000 sq ft
Retail Uses	1 per 250 sq ft
Restaurants	1 per 4 seats
Light Industrial	.25 per 1000 sq ft or non-office space
Bed & Breakfast Inns & Hotels	1 per bedroom
Civic Uses	No minimum

7.4 SHARED PARKING STANDARDS

- 1. The joint use of shared off-street parking between two uses may be made by contract between two or more adjacent property owners. Adjacent lots shall be interconnected where practical.
- 2. Developments that operate at different times may jointly use or share the same parking spaces with a maximum of one-half (1/2) of the parking spaces credited to both uses if one use is a church, theater, assembly hall or other use whose peak hours of attendance will be at night or on Sundays, and the other use or uses are ones that will be closed at night or on Sundays or upon the normal hours of operation.

Haynie-Sirrine Neighborhood Code

8.0 LIGHTING STANDARDS

8.1 PURPOSE AND GENERAL PROVISIONS:

The purpose of this Section is to provide direction in controlling light spillage and glare so as not to adversely affect motorists, pedestrians, and land uses of adjacent properties. Lighting intensities should be controlled to assure that excessive light spillage and glare are not directed at adjacent properties, neighboring areas, and motorists.

Exterior lighting should be architecturally integrated with the architectural character of the building. Downcast or cutoff type lighting fixtures should be generally used to illuminate pedestrian or traffic circulation corridors. Bollard or decorative cutoff-type lighting fixtures are generally suited for pedestrian applications such as for pedestrian circulation or transitional areas.

Determination of light fixtures and level of illumination to achieve a certain function or desired effect should also reduce or eliminate the hazardous aspects and nuisance of glare and light spill over. All exterior lighting, with the exception of street lighting, that is used in and around buildings, recreation areas, parking lots, and signs, shall be designed to protect against the spill-over of light to adjacent properties.

Lighting may be characterized by the kind of fixtures to be installed (such as incandescent, fluorescent, etc.); by use or activity being served, (i.e. sports activities, utility lighting, lot lighting, or security lighting); or by desired effect, (i.e. spot lighting). Lighting design, location, and fixture selection should be planned to serve the primary lighting objective.

8.2 STREET LIGHTING STANDARDS

No street light shall be more than 250 feet from another street light. In addition, lighting shall be placed at every intersection.

A Lighting Plan shall be submitted with all Apartment, Shopfront, and Office Building developments.

Place Decorative Lighting specifications here

8.3 OUTDOOR LIGHTING STANDARDS:

All outdoor lighting shall conform to the following standards:

- 1. Outdoor lighting shall be designed, located and mounted at heights no greater than twelve (12) feet above grade for pedestrian lights, or thirty five (35) feet above grade for street lighting; and located at least 10 feet from property lines defining rear and side yards or required perimeter landscaped areas required by this Code.
- 2. All outdoor lighting shall be designed and located such that the maximum illumination measured in foot candles at the property line shall not exceed .3 for non cut-off lights and 1.5 for cut-off lights. The average intensity illumination for outdoor lighting shall not exceed 6-foot candles in intensity as measured at grade. Fixtures should be placed to provide uniform distribution of light and to avoid intense lighting that produces excessive glare.
- 3. Lighting fixtures in scale with pedestrian activities shall provide for uniform distribution of lighting to produce minimal shadows.
- 4. Because of their unique requirements for nighttime visibility and limited hours of operation, the lighting of active recreation areas, such as for ball fields and tennis courts are not considered in this Section. Lighting conditions for such uses shall be approved by the Zoning Administrator in accordance with approved standards and specifications.
- 5. No flickering or flashing lights shall be permitted. Light sources should not be located within any perimeter-landscaped areas except on pedestrian walkways.

Lighting levels are to be measured in foot-candles with a direct-reading, portable light meter. The meter sensor shall be mounted not more than six (6) inches above ground level in a horizontal position. The Zoning Administrator takes readings only after the cell has been exposed long enough to provide a constant reading. Measurements are made after dark with the light source in question on, then with the same source off. The difference between the two readings shall be compared to the maximum permitted illumination and at the property line at ground level.

Haynie-Sirrine Neighborhood Code

9.0 SIGNS

9.1 DEFINITIONS:

Arm Sign

A sign whose face is suspended from a support arm at a right angle from a ground-mounted pier, pillar, column, or pole.

Canopy or Awning Sign

A sign that is mounted, painted, or attached to an awning or canopy that is otherwise permitted by Ordinance.

Monument Sign

Any sign not attached to a building in which the entire bottom of the sign is in contact with or is flush or close to the ground, the vertical dimension is greater than the horizontal dimension and is independent of any other structure.

Projecting Sign

Any sign other than a wall, awning, or canopy sign, which is affixed to a building and is supported only by the wall on which the sign is mounted.

Sandwich Board Sign

A portable a-frame sign constructed with two faces that rest at an angle less than 45 degrees to each other. Neither face shall exceed 3 feet in width or 12 square feet in area.

Wall Sign

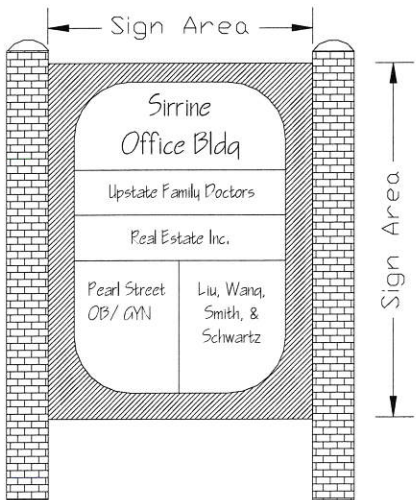
Any sign directly attached to an exterior wall of a building or dependent upon a building for its support with its exposed face parallel or approximately parallel to the plane of the building or structure on which it is placed. Signs directly painted on walls shall be considered wall signs.

9.2 GENERAL PROVISIONS:

1. Monument Signs are permitted only for Detached House, Office Buildings, and Civic Buildings.
2. Non-residential uses in the Neighborhood General District are permitted to use arm signs.
3. The scale of the signs should be appropriate for the building on which they are placed.
4. Signs should not obscure architectural features and should be integrated with the design of the building.
5. Buildings should provide signage that is pedestrian-oriented.
6. All buildings may provide wall-mounted incidental signage such as tenant directories, historical markers, or bulletin boards on any wall face provided they do not exceed 6 square feet in area.
7. Sandwich board signs may be placed on sidewalks in the Neighborhood Center and Village Center District only.
8. Projecting Signs may be used in lieu of wall signs.
9. Canopy Signs may be used in lieu of wall signs, but may be combined with a Projecting Sign.
10. Only Monument Signs may be internally illuminated.

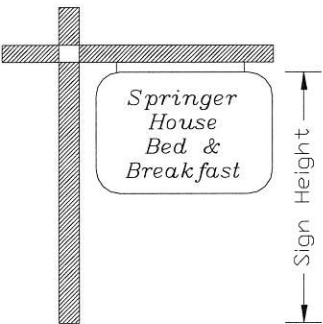
9.3 FREESTANDING SIGN STANDARDS:

Monument Sign:



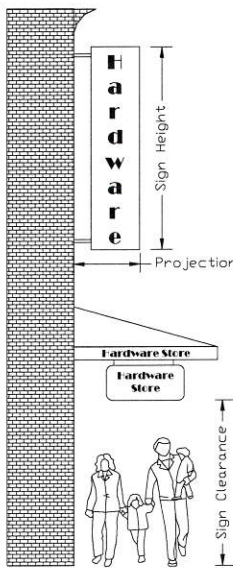
Maximum Height: 6 feet
Maximum Area: 36 square feet

Arm Sign:



Maximum Height: 6 feet
Maximum Area: 6 square feet

9.4 STOREFRONT SIGN STANDARDS:



Projecting Sign Standards:

- Maximum Height: 8 feet*
- Maximum Area: 1 square foot for each lineal foot of storefront
- Maximum Projection from Wall: 3 feet
- *Sign may not extend beyond the top of the parapet or the eaves (on a pitched roof)

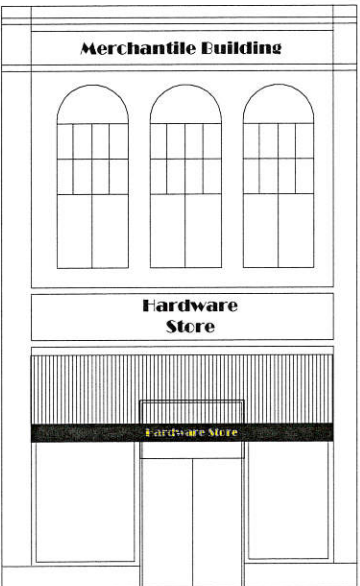
Canopy Sign Standards:

- Maximum Area: 50% of Canopy area (Drip Flap area shall be unlimited)

Under-Canopy Sign Standards:

- Maximum Dimensions:
 - Height: 16"
 - Width: 36"
- Sign Clearance: 7 1/2 feet

STOREFRONT SIGN STANDARDS:



Wall Sign Standards:

- Maximum Area: 2 square feet for each lineal foot of wall facing a public street
- Location: Between first floor window and window sill of second floor, or on sign frieze area of building if original to building (Exception: Building identification which is an integral part of the building's design and architectural character shall not be considered a sign for the purposes of this Standard.)
- Maximum Area (Walls not fronting a public street): 5% of wall area.
- Windows: Signs may be placed on or behind windows but at no such time shall exceed 20% of the window area.
- Murals or Wall Art: Murals or similar wall art located on secondary building walls (not primary frontages) are permitted, provided the total area of commercial copy does not exceed 5% of the total wall area.

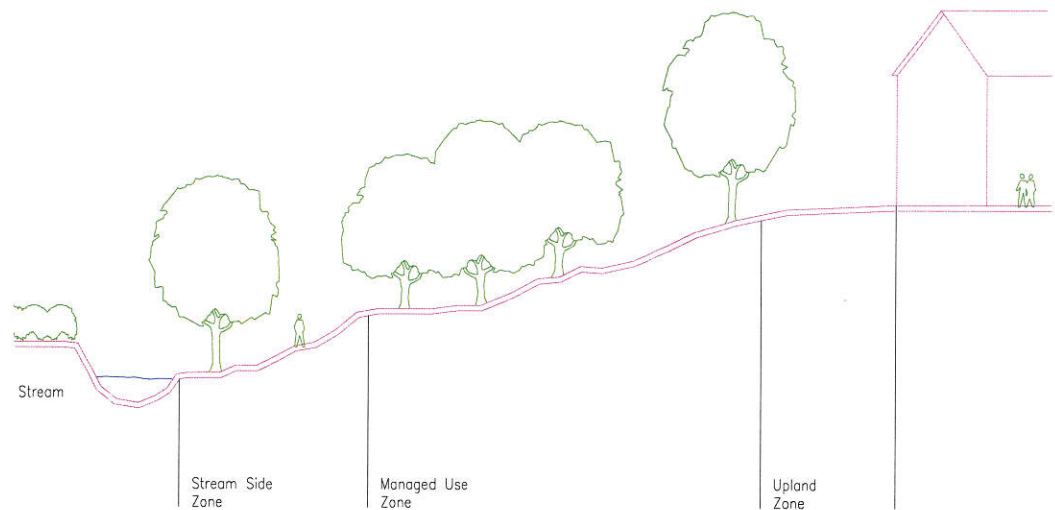
Haynie-Sirrine Neighborhood Code

10.0 ENVIRONMENTAL PROTECTION

10.1 STREAM AND WETLAND BUFFERS:

The purpose of a stream buffer network is to filter pollutants, store floodwaters, provide habitat, and contribute to the “green infrastructure” of the City of Greenville and lands within its jurisdiction. Stream systems are comprised of each stream and its respective drainage basin. Streams have the primary natural functions of conveying storm and ground water, storing floodwater, and supporting aquatic life. Vegetated lands adjacent to the stream channel in the drainage basin serve as “buffers” to protect the stream’s ability to fulfill its natural functions. Buffers have the primary natural functions of protecting water quality by filtering sediments; pollutants such as nitrogen, phosphorus, trace metals, and hydrocarbons; providing intermittent storage for floodwaters, allowing channels to meander naturally, and providing suitable habitat for wildlife. **All new development shall comply with the buffer requirements of this Section, however uses and structures previously approved and constructed in a buffer may remain.**

Three Zoned Urban Stream Buffer



10.2 BUFFER DELINEATION

The following buffer delineations are required:

1. Buffer boundaries including all buffer zones must be clearly delineated on all Plans for approval by the City of Greenville, on all Construction Documents, including grading and clearing plans, erosion and sediment control plans, and site plans.
2. Buffer boundaries including all buffer zones must be clearly delineated on-site prior to any land disturbing activities. Where existing trees are to be preserved in a buffer zone, limits of grading shall maintain a minimum 20’ separation from the base of each tree on the upland side of the buffer.
3. Buffer boundaries including all buffer zones as well as all buffer requirements must be specified on the record plat, on individual deeds, and in property association documents for lands held in common.

10.3 MINIMUM BUFFER REQUIREMENTS

1. At a minimum no land disturbing activity is permitted within the flood plain except as otherwise permitted as a Permitted Buffer Impact. The regulatory flood plain elevation is delineated per the latest revision of the Flood Insurance Rate Map, Flood Boundary Floodway Maps, and Flood Insurance Study for the City of Greenville and/or Greenville County. No such stream buffer shall be less than 50 ft.
2. Buffer widths for drainage basins are measured horizontally on a line perpendicular to the surface water, landward from the top of the bank on each side of the stream.
3. In lieu of providing an undisturbed stream buffer along the existing channel corridor, development in drainage basins less than 50 acres may choose compliance with a permitted option below.
 - a. In any zone natural channel design may be used in compliance with all applicable state regulations (i.e. vegetative lining with limited use of stone, meandering alignment and spot stabilization of erosion).
 - b. In the NC and URVC Zones traditional channel design may be used in compliance with all applicable state regulations (i.e. structural stabilization with stone or concrete lining, uniform geometry, and straightening alignment, including closed pipe systems)
4. When reforestation of disturbed buffers is required, tree planting shall be as specified by the City .
5. Diffuse Flow Requirement. Diffuse flow of runoff shall be maintained in the buffer by dispersing concentrated flow and reestablishing vegetation.
 - a. Concentrated runoff from ditches or other manmade conveyances shall be diverted to diffuse flow before the runoff enters the buffer.
 - b. Periodic corrective action to restore diffuse flow shall be taken by the property owner as necessary to impede the formation of erosion gullies.

10.4 PERMITTED BUFFER IMPACTS

The following buffer impacts are permitted, however, design and construction shall stabilize disturbed areas to minimize negative effects on the quality of surface waters.

1. Road crossings for connectivity or transportation links where the City of Greenville has granted site plan approval.
2. Parallel water and sewer utility installation as approved by the City Engineer.
3. Approved public or common area open space paths and trails parallel to the creek outside the Stream Side Zone and near perpendicular stream crossings. Pathways must use existing and proposed utility alignments or previously cleared areas and minimize tree cutting to the maximum extent practicable.
4. Incidental drainage improvements/repairs for maintenance.
5. Individual pedestrian paths connecting homeowners to the stream in the form of narrow, pervious footpaths with minimal tree disturbance.
6. Ponds which intersect the stream channel shall have the same buffers as the original stream. Buffer requirements do not apply to wet ponds used as structural BMPs.
7. Mitigation approved by a state or federal agency acting pursuant to Sections 401 or 404 of the Federal Clean Water Act.

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11.0 LANDSCAPING

The three types of landscaping are defined as follows, and shall meet the following performance requirements. All new development, changes in principal use, and building expansions shall comply with these provisions.

10.5 TYPES OF LANDSCAPING

A. TYPE A (Opaque Screen/Buffer)

LOCATION & REQUIRED USAGE:

- Rear and/or side transition yards between URVC and non-URVC lots (Minimum width: 30 ft) and the transition yard between NC non-residential and multi-family uses and adjacent single family uses (Minimum width 10 ft to 30 ft.)

This type functions as an opaque screen from the ground to a height of at least eight (8) feet. This type excludes visual contact between uses and creates a strong impression of spatial separation. Composition of the Type A landscaping may include a wall, wood fence, landscaped earthen berm, planted vegetation, existing vegetation, or any appropriate combination of these elements. Intermittent planting of deciduous and evergreen trees shall obtain a height at maturity of no less than 20 feet and have no unobstructed openings wider than ten (10) feet between tree canopies upon maturity. Shrub plantings shall have a minimum height of three (3) feet at installation and have no unobstructed openings wider than four (4) feet. At least 50% of the required trees, and at least 75% of the required shrubs, shall be evergreen species locally adapted to the area. The use of existing vegetation to satisfy this requirement is encouraged. Supplemental planting may be required in addition to native materials.

B. TYPE B (Semi-Opaque Screen)

LOCATION & REQUIRED USAGE:

- Perimeter Yard of all multi-family, mixed-use, and non-residential parking areas visible from the street (Minimum width: 10 ft)

This type functions as a semi-opaque screen from the ground to at least a height of four (4) feet for screening of car lights and glare. Composition of the Type B landscaping may include a wall, fence, planted vegetation, existing vegetation, or any appropriate combination of the elements. Intermittent planting of deciduous and evergreen trees shall obtain a height at maturity of no less than 20 feet and have no unobstructed openings wider than 20 feet between canopies upon maturity. Shrub plantings shall have no unobstructed openings wider than four (4) feet. At least 75 % of the required shrubs shall be evergreen species locally adapted to the area.

All side yard parking areas in the NC or URVC districts shall be screened from the sidewalk by low walls, fences or constructed as a continuation of the building wall a minimum of three (3) feet in height. Landscaping may be used in combination with walls or fences but shall not exceed 50% of the total required width. The use of existing vegetation to satisfy this requirement is encouraged. Supplemental plantings may be required in addition to native materials. The minimum height upon installation for effectively screening storage areas is 6 feet. This type of planting should be opaque to screen the off-site view of parking areas from neighboring properties and streets.

C. TYPE C (Interior Plantings)

LOCATION & REQUIRED USAGE:

- Interiors of all parking areas with more than 16 parking spaces (not applicable to structured parking facilities)

This type functions as a tree ceiling over a parking area providing shelter from sun and rain. Large maturing canopy trees shall be planted in a manner that provides shade for the entire parking area at maturity. To this end, no parking space shall be less than 60 ft from the base of a canopy tree. The use of differing species around the parking area is encouraged to promote diversity in the overall urban tree canopy. The use of existing vegetation to satisfy this requirement is encouraged. Supplemental plantings may be required in addition to native materials.

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<p>12.0 MISCELLANEOUS DEFINITIONS</p> <p>All terms shall be as defined in the Greenville Zoning Ordinance unless otherwise noted in this section.</p>	<p><u>Accessory Building</u> A structure subordinate or incidental to the principal structure on a lot in square footage and primary use. Ancillary structures and uses include detached garages (with or without rental cottages), storage buildings, pool houses, and material storage areas.</p> <p><u>Automobile/Boat/Heavy Equipment/Manufactured Home Sales and Service</u> Any building, premises, and land, in which or upon the primary use of land is a business which involves the maintenance, servicing or sale of new or used automobiles, boats, heavy equipment and/or manufactured homes generally but may include light trucks or vans, trailers, or recreation vehicles and including any vehicle leasing, rental, parking service, preparation or repair work conducted as an accessory use. This definition includes but is not limited to auto dealerships, auto body shops, auto service stations, boat repair or sales, car washes, convenience stores, gas stations, heavy equipment leasing, sales, or service, manufactured home sales or service, and oil/lube servicing. This does not include the sale of parts or related products (i.e. auto parts store).</p> <p><u>Convenience Store</u> A use where certain retail goods and vehicular fuels are sold at the retail level. Such a use may permit car washes as an accessory use but shall not allow the installation of such automotive items such as lubricants, tires, batteries, or minor automobile repair and maintenance work.</p> <p><u>Development</u> The carrying out of any building activity, the making of any material change in the use or appearance of any structure or land, or the subdividing of land into two or more parcels. The following activities or uses shall be considered development:</p> <ol style="list-style-type: none">1. The reconstruction, alteration of the size, or material change in the external appearance of a structure on land or water;2. A change in the intensity of use of land, such as an increase in the number of dwelling units in a structure or on land or a material increase in the number of businesses, manufacturing establishments, offices, or dwelling units in a structure or on land;3. Commencement of drilling (except to obtain soil samples), mining, or excavation on a parcel of land;5. Clearing of land, including clearing or removal of vegetation and including any significant disturbance of vegetation or soil manipulation; or <p><u>Drive-Through Facility</u> A facility designed to enable a person to transact business while remaining in a motor vehicle. Where permitted it shall be located to the rear of a principal structure only and shall not disrupt the pedestrian environment.</p> <p><u>Duplex</u> <i>See Dwelling – Two Family</i></p>	<p><u>Entertainment Use</u> Any establishment that provides active recreational opportunities such as miniature golf, batting cages, arcades, carnival games, go-cart or other motorized vehicle tracks, waterslides, or passive recreation such as movie theaters.</p> <p><u>Live-Work Unit</u> Small commercial enterprises with the ground floor occupied by commercial uses and a residential unit above. Commercial space may be a home-based business or may be leased independently</p> <p><u>Manufacturing, Heavy</u> The assembly, fabrication, production or processing of goods and materials using processes that ordinarily have greater than average impacts on the environment, or that ordinarily have significant impacts on the use and enjoyment of other properties in terms of noise, smoke, fumes, odors, glare, or health or safety hazards, or that otherwise do not constitute “light manufacturing,” or any use where the area occupied by outdoor storage of goods and materials used in the assembly, fabrication, production or processing exceeds 25 percent of the floor area of all buildings on the lot. “Heavy manufacturing” shall include, but not be limited to, the following: enameling, lacquering, or the plating or galvanizing of metals; foundries or mills producing iron and steel products; industrial chemical manufacture; meat packing plants; mixing plants for concrete or paving materials, and manufacture of concrete products; oxygen manufacture and/or storage; pottery, porcelain, and vitreous china manufacture; poultry dressing for wholesale; pressure treating of wood; stonecutting; tire recapping and retreading; tobacco products manufacture; tobacco stemming and redrying plants. This shall include resource extraction and recycling and salvage operations.</p> <p><u>Multi-Family</u> Three or more dwelling units located on a single lot of record. (Exception: Rental Cottages in accessory buildings)</p> <p><u>Office Use</u> Professional, service, and governmental occupations within a building or buildings which do not generally involve the on-site sale of goods to customers.</p> <p><u>Rental Cottage</u> An apartment located in an accessory building, secondary in size to the principal building, sharing ownership, site and utilities. In the NE zone, the principal building should be owner-occupied.</p>	<p><u>Retail Use</u> A building, property, or activity the principal use or purpose of which is the sale of goods, products, or merchandise directly to the consumer.</p> <p><u>Single Family Homes</u> <i>See Dwelling- Single Family Detached</i></p>
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